

# CAMDEN PARK STATE BANK DESIGN GUIDELINES

705 42<sup>nd</sup> Avenue North



Prepared for the Minneapolis Heritage Preservation Commission

City of Minneapolis  
Community Planning & Economic Development (CPED)

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# ACKNOWLEDGEMENTS

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# INTRODUCTION

## Scope

These Landmark guidelines are meant to be used in conjunction with the latest version of *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. These Landmark guidelines identify the period of significance; indicate historic uses; state character-defining features; identify historic materials, features, and spaces; and note alterations, including missing elements of the Landmark that, ideally, will be restored. *The Secretary of the Interior's Standards for the Treatment of Historic Properties* provides specific treatment standards and guidelines based upon these aspects of the landmark.

This document also specifies additional guidelines for exterior changes specifically suited to this property. Apart from guidelines related to the site, these guidelines do not apply to noncontributing resources on the property. At the present time, there are no noncontributing resources on the property beyond basic paving and landscaping. These guidelines apply only to the exterior of the building.

## Period of Significance

The resource's period of significance is 1910-1955. This period begins with the construction of the 1910 portion of the structure and ends when the Washington Avenue streetcar line ceased operations and the Camden Park State Bank ceased to be a tenant in the building.

## Historic Uses

During its period of significance (1910-1955) this property was used as a multi-tenant commercial building. During this period, tenants included the Camden Park State Bank, the International Order of Odd Fellows, dentists, lawyers, insurance agents, a mortician, small retailers, a post office, and a pool hall.

## Character Defining Features

Character defining features are the form and detailing of those architectural materials and features that are important in defining the building's historic character and which must be retained in order to preserve that character.

The Camden Park State Bank's character defining features are its exterior materials and features, designed by architects Septimus James Bowler and Ernest C. Haley which are visible from the public right of way and remind neighborhood residents and visitors of the legacy of the Camden neighborhood's former business district. These features include:

- The building's exterior brick walls, cast concrete details, and ornamental tile work
- The building's flat roof
- The main entrance portico
- The carved entablatures above the bank and lodge entries

## Historic Materials, Features, and Spaces

City building permits, that require only general descriptions of work and no long-term retention of plans, cannot generally be used to confirm or deny the presence of original features, but visual evidence and historical photographs indicate extensive sections of features dating back to the building's period of significance. These features are:



*Carved entablature on the main entry portico*

- Red brick exterior walls
- Carved stone entablatures above entrances to the 1920 portion of the building
- Cream colored accent brick around the windows
- Stone and concrete exterior ornamentation
- Limestone and concrete foundation
- Oculus beneath skylight in the roof over the ballroom

## Major Alterations

The building has changed since its construction in 1910 and 1920. City of Minneapolis building permit records indicate the following major work to the building exterior:

### *Work Completed Within the Period of Significance*

- **1947** - Reconfiguration of storefront on north side of 1910 building, using non-matching infill brick

### *Work Completed Outside of the Period of Significance*

- **2011** - Removal of crenelated parapets on north elevation, reconstruction of third floor south wall and parapets due to severe tornado damage.

### *Visual evidence indicates additional non-historic alterations which include the following:*

- Stone coping replaced / covered with metal flashing
- Poor quality repointing / mortar patching
- South and west elevations painted red
- All exterior windows and exterior doors replaced
- Several window and door openings on west elevation infilled with brick
- Installation of a two way rooftop billboard

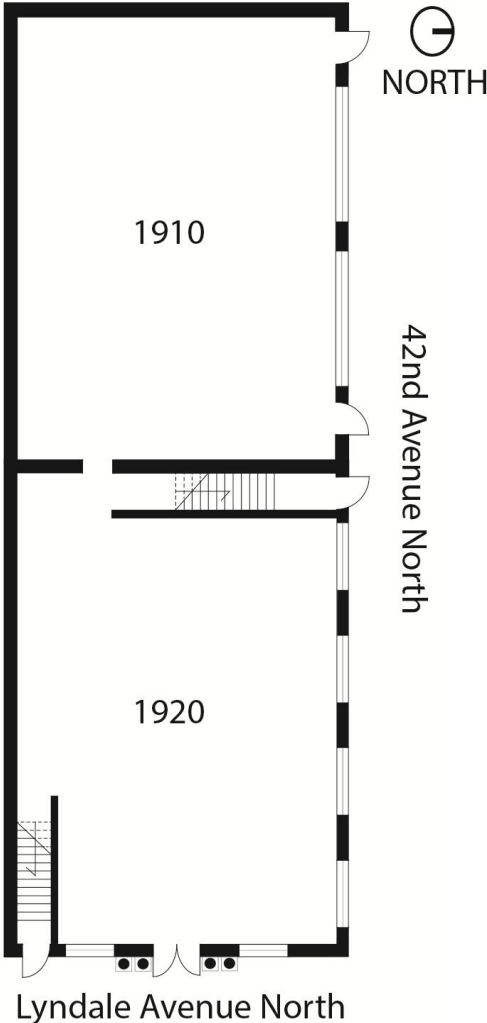
Despite these changes, the building retains its ability to communicate its historical significance.

As a resource for any future rehabilitation, a comprehensive set of plans from the original construction of the 1920 bank building addition by Ernest C. Haley is stored at the Northwest Architectural Archives at the University of Minnesota. This drawing set also references the 1910 lodge building. Original drawings for the 1910 lodge building designed by Septimus James Bowler have not been found. These documents, along with historic photographs contained in the designation study and available online and from the Minnesota Historical Society can suffice as a starting point for documentary and physical evidence in which to commence restoration work.

# GUIDELINES FOR CHANGES

Beyond the standards and guidelines stated in *The Secretary of the Interior's Standards for the Treatment of Historic Properties*, changes to the Camden Park State Bank must meet these standards:

- The east (Lyndale Avenue) and north (42<sup>nd</sup> Avenue North) elevations shall be considered the primary elevations (Figures 1, 2, 5, 6).
- The central entry on the east elevation shall remain the primary entry point for any first floor use of the 1920 portion of the structure (Figure 1, 5).
- Any future alteration to the storefront along the north elevation shall move towards restoration of the original 1910 storefront form (Figure 2).
- Any future alteration to the ballroom entry rain screen along the north elevation shall move towards restoration of the original 1910 form (Figure 2).
- Rehabilitation / restoration of the former basement level entry is an acceptable way to provide entrance and egress for the basement level (Figures 1, 3).
- The two way billboard on top of the 1920 addition is not a historic feature. While its removal is not mandated, it is presumed that eventually it may no longer be in place. Great care should be taken in its maintenance and removal to ensure that historic building materials are not harmed. A fitting replacement for this billboard would be a flagpole, which can be seen in historic photographs (Figures 1, 5, 6).



## Roof

The flat roof is a character defining feature of this building. Any rooftop mechanical equipment, solar-panels, green-roof, patio, etc. must remain inconspicuous from the public right of way.

## Exterior Masonry Walls

In 2011, severe tornado damage resulted in the removal of the tall, crenelated parapets at the top of the northern brick exterior wall (Figure 6). This is an important feature of the exterior brick walls. This feature is found intact on the Lyndale elevation (Figures 1, 5). There is adequate historic pictorial and physical documentation in which to create and accurate rehabilitation.

- A. In the case of any rehabilitation, great care should be taken in the specification of a brick that matches the existing brick in color, texture, dimension and profile. In the design of any new cornice, brick coursing patterns, mortar joints and coping must be an accurate reconstruction.
- B. Mortar used should match the historic color, texture, hardness and joint profile of the existing building.
- C. Any future paint removal on the secondary exterior walls must be undertaken with the gentlest means possible as per *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. Harsh chemical treatments or sandblasting are not permitted.

## Windows

- A. Almost all of the existing windows are replacements – any future window replacement shall move towards the historic appearance of the building.
- B. Any future replacement of windows and doors should proceed by using one-over- one double hung sashes in the second and third floors as per the original design (Figure 1).
- C. Ground level window openings were two-over-one fixed plate glass windows (Figures 1, 2, 3). Original drawings show what appears to be prismatic glass in the transoms of the former bank's ground level windows (Figure 3). No photographic evidence has been found to substantiate if this was how the windows originally were constructed.
- D. Acceptable materials for replacement windows and doors include wood with a painted finish, aluminum, fiberglass or a composite material designed to complement the historic depth, color, texture dimensions of the stiles and muntins that were a part of the historic windows. The replacement windows may be an accurate reconstruction using historical, pictorial, and physical documentation; or be a new design that is compatible with the window openings and the historic character of the building.
- E. Glass used in replacement windows shall have a color and reflective quality similar to the historic appearance of the windows.
- F. Inserting new furred-down ceilings which cut across the glazed areas of windows so that the exterior form and appearance of the windows are changed is not permitted.
- G. It should be noted that windows had signage applied on their interior surface showing outside (Figure 1.). This shall be an acceptable way of using signage that is akin to the way signage was used during the period of significance.

## Additions

- A. Any future addition or adjacent structure that is directly adjacent to the building shall not destroy historic materials and shall be compatible with the materials, features, size, scale, proportion and massing to protect the integrity of the building. Any adjacent new construction will be undertaken in a manner that, if removed at some point in the future, the essential form and integrity of the historic property would be unimpaired.

## Interior Features Not Protected By Designation

Alterations over time to the interior have resulted in a loss of integrity; as a result, the interior is not included in the designation. However, many historic materials and features that date to the period of significance are likely hidden behind layers of non-historic alterations. The retention and incorporation of any existing historic materials on the interior that are incorporated into any future rehabilitation will likely add to the character and uniqueness of this building. It is also likely that historic ceiling and floor materials are concealed beneath carpeting and modern suspended ceilings. This may present both opportunities and challenges to building owners, designers and craft persons in the future that perform maintenance and rehabilitation work. The retention of materials and elements found in the interior that date to the period of significance is **encouraged**, but is not mandated.



Figure 1. Camden Park State Bank 1920s, Lyndale Avenue frontage. These are the primary elevations. Note the main entry portico, the windows, the crenelated parapets, the signage, the flagpole, the clock, and the basement level entry along 42<sup>nd</sup> Avenue North. Source: Minnesota Historical Society.





Figure 2. Camden Park State Bank Building, 1938. 42<sup>nd</sup> Avenue North frontage. Any alteration of the storefront to the 1910 building should move towards a restoration dating to the period of significance. Note the signage, the rain screen over the double door entry to the ballroom and the crenelated parapets. Source: Minnesota Historical Society.

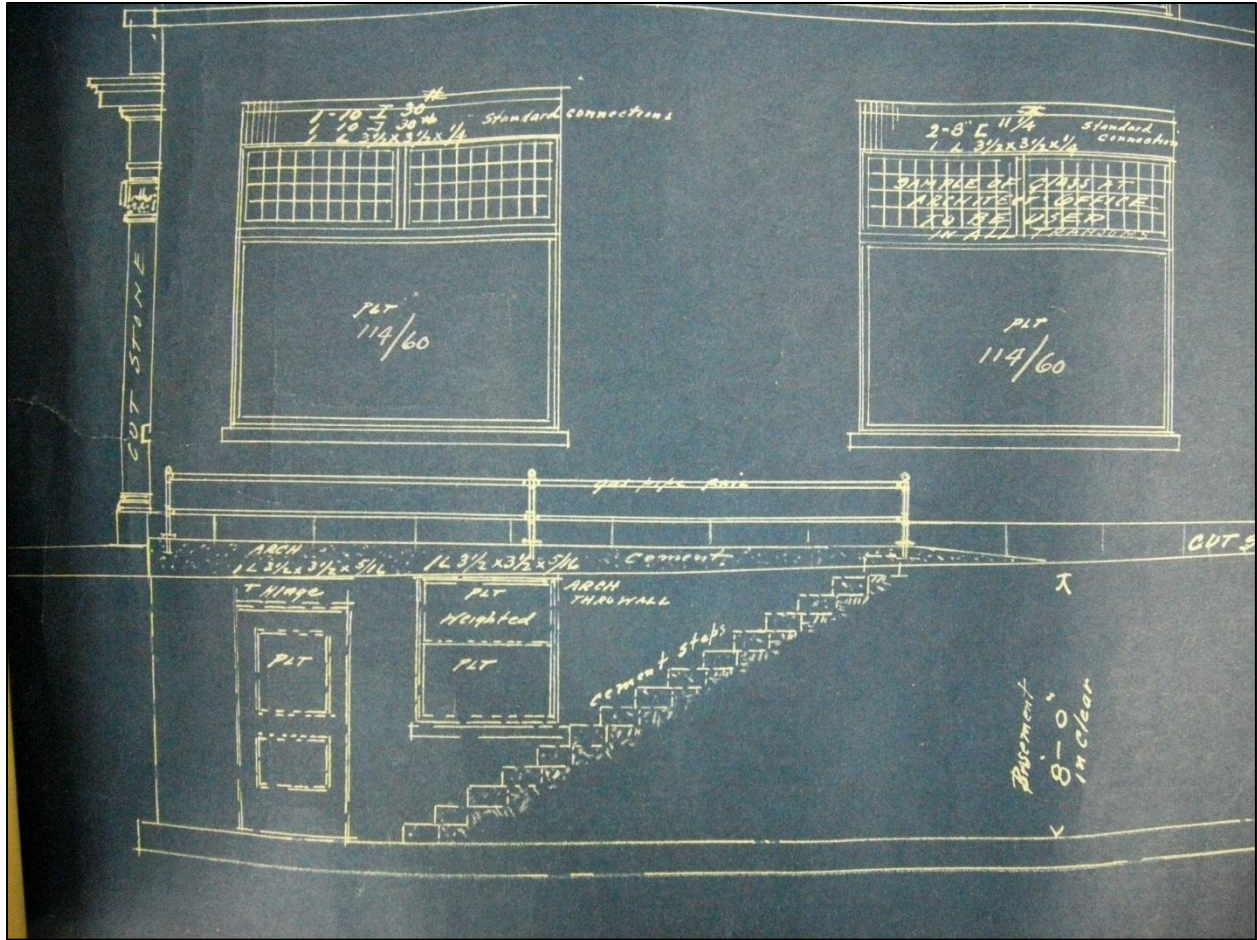


Figure 3. Detail of the basement level entry to the 1920 addition, filled in at some point in the past. Based on photographic evidence, actual construction appears to differ from the original drawings. Source: Northwest Architectural Archives, University of Minnesota.

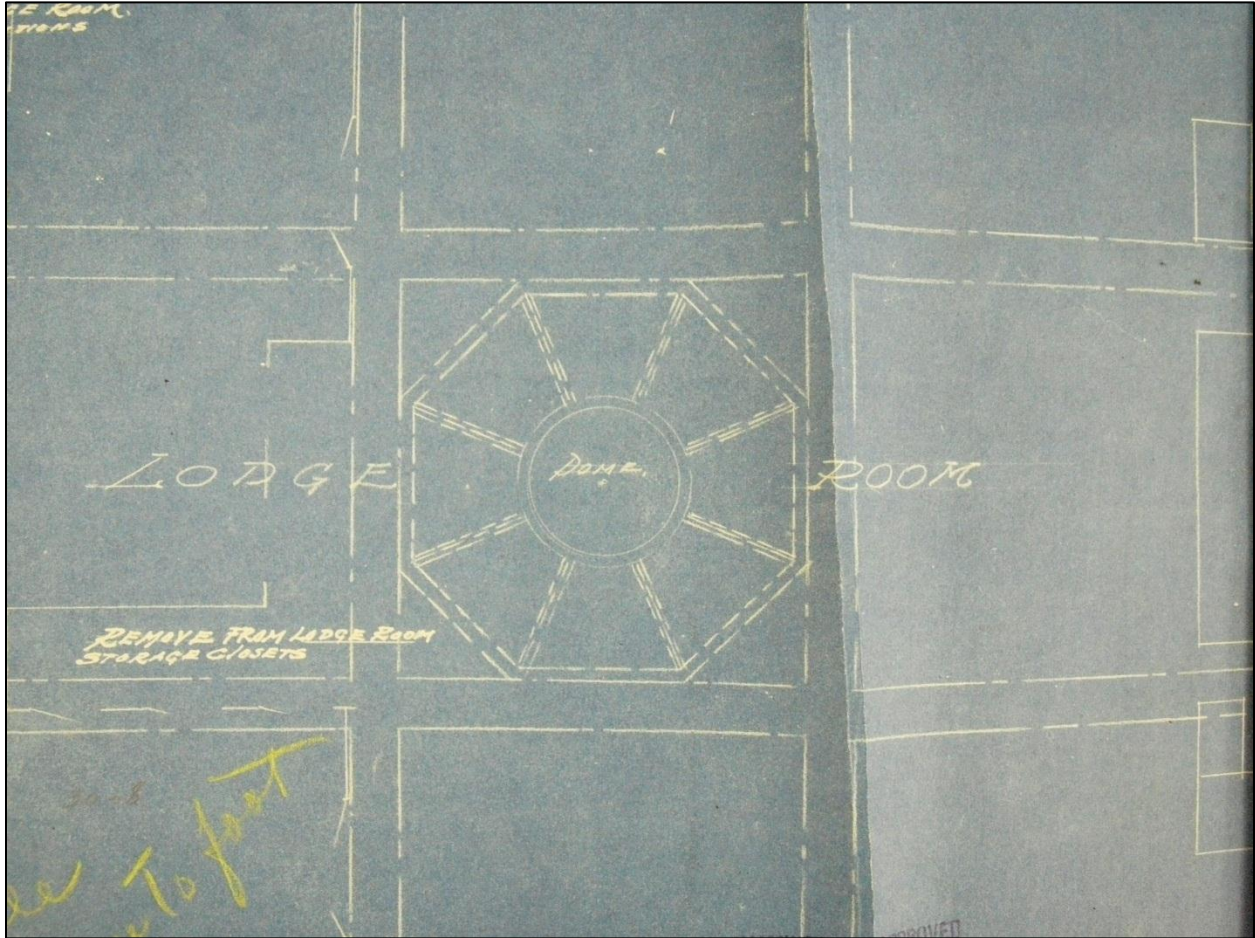


Figure 4. Note the beamed ceiling and oculus in the former ballroom space, from E.C. Haley's 1920 drawing set.  
Source: Northwest Architectural Archives, University of Minnesota.



Figure 5. Camden Park State Bank, 2014. Lyndale frontage, note the main entry portico, the billboard and crenelated parapets. Source: CPED files.



Figure 6. 42<sup>nd</sup> Avenue North Frontage, note the billboard, the missing crenelated parapets and the storefront alterations.  
Source: CPED files.



Figure 7. Secondary elevations, historic cream colored brick has been painted over, note infilled windows. Source: CPED files.



Figure 8. Secondary elevations, note the meeting hall cupola visible above the roofline. Source: CPED files.